Detached Dual Occupancy

For Mr & Mrs Charlton

At Lot 12 DP 851360
198 Wangat Trig Road
Bandon Grove NSW 2420

Architectural Drawing Index

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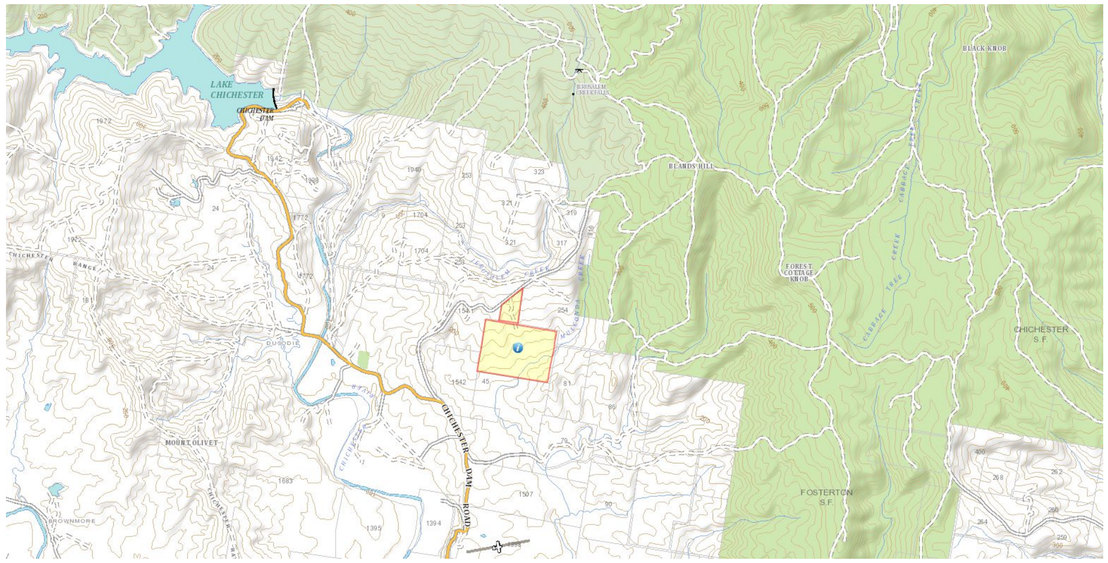
Site Area Schedule

Name	Area	Overall
Impermeable		
Existing Dwelling Footprint	313.1 m²	0.1%
Existing Shed Footprint	210.0 m²	0.0%
Proposed Secondary Dwelling Footprint	299.3 m²	0.1%
Proposed Secondary Shed Footprint	134.1 m²	0.0%
	956.5 m²	**0.2%**
Permeable		
Remaining Site	576638.1 m²	99.8%
	576638.1 m²	**99.8%**
Grand site total	**577594.6 m²**	**100.0%**

Area Schedule - Proposed

Name	Area
Garage	
Shed	126.2 m²
	126.2 m²
Ground Floor	
Alfresco	48.0 m²
Bag/Coat Nook	3.1 m²
Bathroom	9.5 m²
Bed 2	14.9 m²
Bed 3	14.9 m²
Bed 4 / Office	14.3 m²
Boot Nook	3.0 m²
Ensuite	6.0 m²
Hallway	18.2 m²
Kitchen	35.4 m²
Laundry	9.3 m²
Living	39.0 m²
Lounge	16.8 m²
Main Suite	17.1 m²
Pantry	8.9 m²
Robe	4.6 m²
Store	1.3 m²
WC	6.1 m²
WIR	7.6 m²
	278.1 m²
Grand total	**404.3 m²**



Area Plan

Project Overlay Plan

1 : 1250

General Builder Notes:

1. All on site and pre-fabricated workman ship is to be in accordance with the National Construction Code and relavent Australian Standards.
2. These drawings shall be read in conjunction with other consultants drawings / specifications and with other such written instructions as may be issued during the construction. Any discrepancy shall be raised with the design office before commencing the work.
3. All dimensions are in millimeters, Unless noted otherwise. Site verify all dimensions before ordering Materials. Materials to be ordered are only to be ordered from a Builders or applicable product manufacturers seperate site confirmed Materials list.
4. All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of work.
5. Bracing and tie-down details to the engineers details and AS1684.2.
6. All timber and steel to be installed and treated to the manufacturers specifications, especially for any exterior applications.
7. All white ant protection to be strictly within the guidelines of AS3660 and installed by a qualified licensed pest control consultant.
8. AJ denotes masonary articulation joint, to be installed to AS 3700 section 4.8 requirements.
9. All workmanship and materials shall be in accordance with the National Construction Code and relevant Australian Standards.

Site Classification Note:

Wind Class: N3 (W41N) (Assumed)

Site Class: 'P' Soil Class: 'M'

Site / Soil Class Assumed

Survey Note :

Boundary dimensions are assumed only and taken from site information, others or owners information.
Confirm boundaries before commencement of construction.
Full project specific detailed survey plans have not been supplied to Blencowes Design for planning purposes.
See schedule of specifications for details.

Boundary Setback Note:

Boundaries are to be pegged and setout confirmed before commencement of construction where proposed works are with in 1200mm of a boundary.

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AUSTRALIAN PASSIVE HOUSE ASSOCIATION MEMBER | 2021
CONSULTANT CERTIFIED PASSIVE HOUSE CONSULTANT
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Client: Mr & Mrs Charlton

Address: Lot 12 DP 851360
198 Wangat Trig Road
Bandon Grove NSW 2420

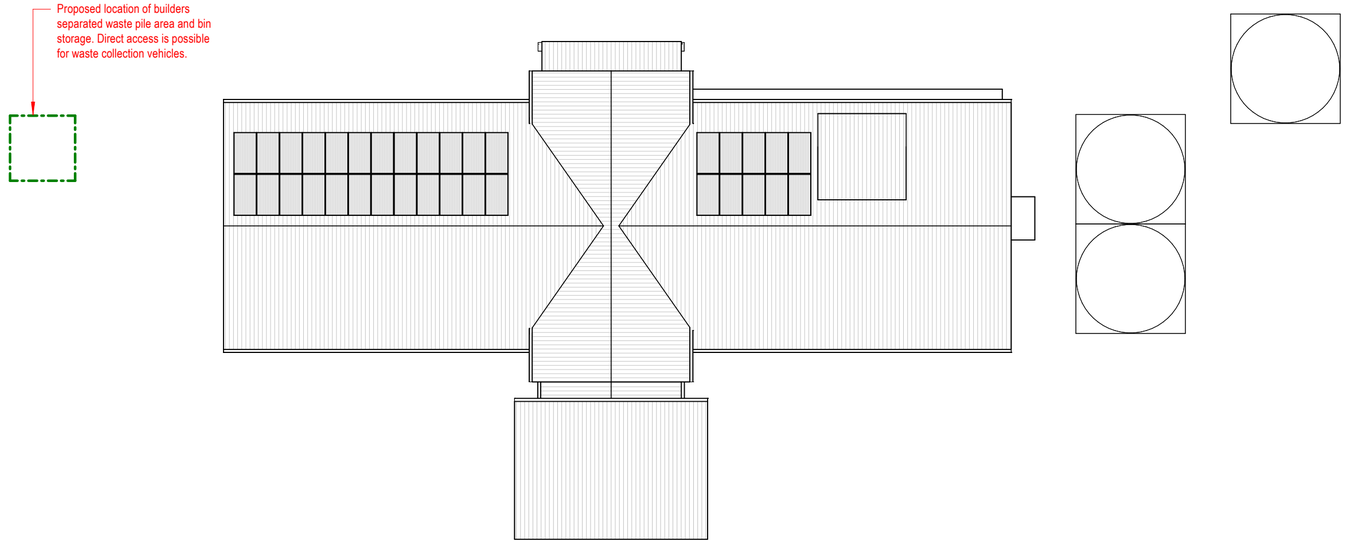
Revision Schedule

Date	Description	Rev
10/02/23	Issued for DA	A

Do not scale off drawings, use shown dimensions only, contact the office if additional dimensions required.

Drawing No: 0121-1208
Sheet: Ar01
Scale: 1 : 1250 @ A3

This plans must be provided to any relevant person involved in the demolition and/or construction, including project managers, builders, contractors and sub-contractors as well as being displayed onsite in plain view



Waste Management Plan

1 : 200

General Notes

1. The main outcome from this plan is to enable maximum diversion of demolition and construction waste to be reused, recycled or composted to reduce building waste going to landfill.
2. Ensure that waste management is planned across all demolition and construction stages so that reusable resources and waste can be appropriately and effectively stored and removed safely from site without adverse impacts on local amenity.
3. **Large skip bins are not to be used on site for mixed materials** unless they are being sent to a specialised construction waste sorting depot or similar.

Demolition Notes

1. To avoid creating demolition waste, wherever practically possible use the existing structure/materials as they are, where they are. If that is not possible re-use them onsite before committing to recycling.
2. All demolished materials **must be separated** into material piles and kept uncontaminated and treated as per the 'Site Waste Minimisation and Management Table' below.

Construction Notes

1. To avoid creating additional construction waste, ensure not to over order materials and carefully separate off-cuts to facilitate re-use onsite before setting aside for resale or efficient recycling.
2. All waste/unwanted construction materials **must be separated** into material piles and kept uncontaminated and treated as per the 'Site Waste Minimisation and Management Table' below.

Ongoing Waste Management Notes

1. A waste cupboard/area in the kitchen will gather daily household waste and consist of 3 separate bins separating garbage (landfill), recyclable materials and compostable materials.
2. Council's standard garbage, recycling and green waste containers are to be located behind the building line or behind suitable screening that will not impact on adjoining premises and have unobstructed access to Council's usual Collection Point.
3. The use of onsite composing and worm farms is highly recommended to produce soil and fertiliser for gardens.
4. Council's standard waste pickup is as follows:
   Garbage (landfill) fortnightly, recycling fortnightly and green waste weekly

Site Waste Minimisation and Management Table

Type of Material	Reuse and Recycling On-site	Reuse and Recycling Off-site	Disposal
Excavation Material	Fill, gardens, topsoil	Clean fill site	Unsuitable remainder to Waste Management Facility
Green Waste	Mulched for gardens, landscaping	Mulched for collection for reuse	Unsuitable remainder to Waste Management Facility
Bricks	Re-use where possible, crushed for gravel or fill	Concrush	Unsuitable remainder to Waste Management Facility
Concrete	Re-use where possible, crushed for gravel or fill	Concrush	Unsuitable remainder to Waste Management Facility
Timber	Reuse where possible eg formwork, packing	Timber recycler	Unsuitable remainder to Waste Management Facility
Plasterboard	Nil	Nil	Waste Management Facility
Metals	Reuse where possible	Metal recycler	Unsuitable remainder to Waste Management Facility
Other – Miscellaneous	Reuse or recycle if possible	Reuse or recycle if possible	Unsuitable remainder to Waste Management Facility

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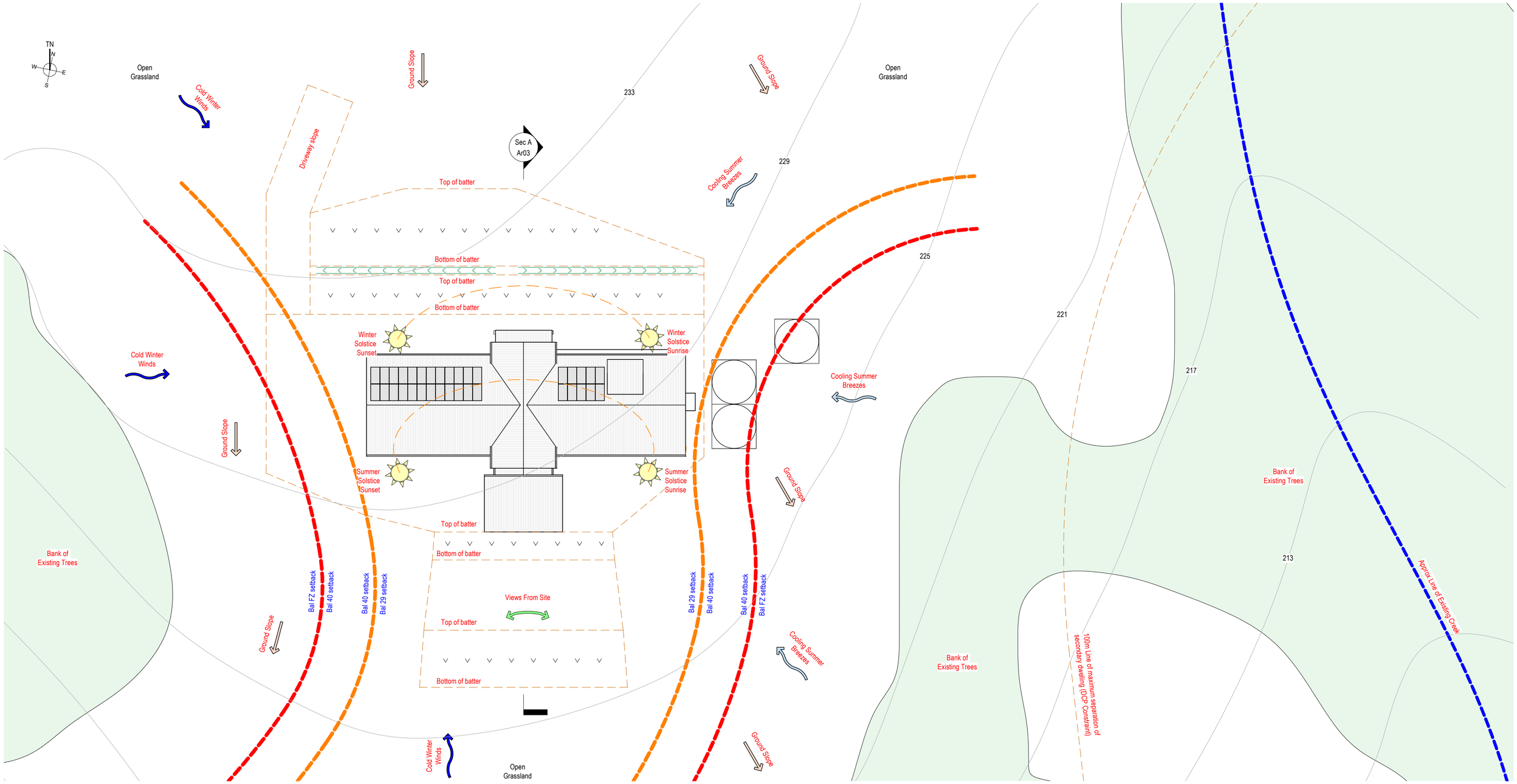
Drawing No: 0121-1208
Sheet: Ar02
Scale: As indicated @ A3



Site Analysis Plan

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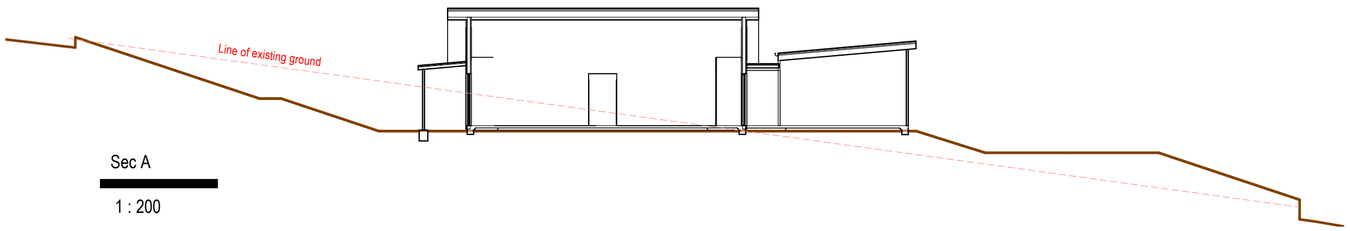

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Drawing No: 0121-1208

Sheet: Ar03

Scale: As indicated @ A3

Basix, Sustainability and Construction Details

Detailed Project Specifications

Type Mark	Description	Type Comments	Additional deails
Ceilings			
IPC	Internal Plasterboard ceiling		55mm Cove cornice
Floors			
EGC	Exterior Ground Bearing Concrete	Anti-slip finish (rough finish or coating)	
IBJF	Internal bearer & joist	Particleboard flooring, floating floor finish	
IGC	Internal ground bearing concrete	Smooth finish concrete	
WAF	Wet area floor	Sedown concretet to wet area, tile finish	Waterproofing to NCC Part 3.8.1
Railings			
APS	Aluminium privacy screen	Powdercoated finish	Min 1500mm high, max 40mm openings & to NCC Part 3.9.2 when higher than 1m from finished surface
Roofs			
CSR	Colourbond Superdek Roofing	Colourbond roof, fascia & gutter, fixed to the manufacturers specifications & the schedule of specifications	
SMR	Standing seam metal roof	Colourbond roof, fascia & gutter, fixed to the manufacturers specifications & the schedule of specifications	
Stairs			
ETS	Enclosed timber stairs	Timber risers & runs	Construction to meet NCC Part 3.9.1
Structural Columns			
C1	Steel column	Final detail to Engineers details	
Walls			
DTS	Double timber stud	2 studs back to back for niche or display wall	
FGSS	Frameless glass shower screen		Construction to meet NCC Part 3.6.4.5
SSW	Shed seperation wall	140mm Stud	External Weathertex Weathergroove 150 smooth vertically (or similar)
TS	Timber stud	Internal plasterboard finish	
VMC	Colourbond Superdek vertical cladding	140mm Stud	External batten fixed vertically metal cladding
VMCS	Colourbond Superdek vertical cladding	90mm Stud	External batten fixed vertically metal cladding

Ground Floor Door Schedule

Level	Mark	Height	Width	Type	Assembly	Frame Material	Room Name	Comments
Interior								
Ground Floor	GD01	2040	820	Swing	O	UPVC / Timber / Thermally broken Alu.	Bag/Coat Nook	Air tight
Ground Floor	GD02	2134	820	Square set	-		Living	
Ground Floor	GD03	2134	820	Square set	-		Pantry	
Ground Floor	GD04	2400	1300	Square set	-		Living	
Ground Floor	GD05	2550	4920	Cavity slider	O		Lounge	Hidden sliding wall
Ground Floor	GD06	2040	820	Swing	O		Laundry	
Ground Floor	GD07	2040	820	Swing	O		WC	
Ground Floor	GD08	2040	2160	Sliding	OOO		Store	3/720 Leaf
Ground Floor	GD09	2040	820	Swing	O		Bathroom	
Ground Floor	GD10	2040	820	Swing	O		Bed 4 / Office	
Ground Floor	GD11	2040	2460	Sliding	OOO		Bed 4 / Office	3/820 Leaf
Ground Floor	GD12	2040	820	Swing	O		Main Suite	
Ground Floor	GD13	2134	820	Square set	-		WIR	
Ground Floor	GD14	2040	1760	Cavity slider	O		Ensuite	
Ground Floor	GD15	2040	820	Swing	O		Bed 2	
Ground Floor	GD16	2040	2760	Sliding	OOO		Bed 2	3/920 Leaf
Ground Floor	GD17	2040	820	Swing	O		Bed 3	
Ground Floor	GD18	2040	2760	Sliding	OOO		Bed 3	3/920 Leaf
Ground Floor	GDE01	2400	4500	Lift and slide	XOOX	UPVC / Timber / Thermally broken Alu.	Living	
Ground Floor	GDE02	2140	820	Swing	O	UPVC / Timber / Thermally broken Alu.	Laundry	
Ground Floor	GDE03	2100	3228	ASD	FSF	UPVC / Timber / Thermally broken Alu.	Main Suite	
Ground Floor	GDE04	2400	4500	Lift and slide	XOOX	UPVC / Timber / Thermally broken Alu.	Kitchen	

Ground Floor Window Schedule

Level	Mark	Height	Width	Type	Assembly	Sill Height	To Room: Name	Frame Material	Glazing	Comments
Ground Floor	GW01	1200	1800	Tilt Turn	OO	950	Lounge	UPVC / Timber / Thermally broken Alu.	Double	
Ground Floor	GW02	1200	900	Tilt	O	950	WC	UPVC / Timber / Thermally broken Alu.	Double	
Ground Floor	GW03	1200	1800	Tilt Turn	OO	950	Bathroom	UPVC / Timber / Thermally broken Alu.	Double	Frosted
Ground Floor	GW04	1200	1800	Tilt Turn	OO	950	Bed 4 / Office	UPVC / Timber / Thermally broken Alu.	Double	
Ground Floor	GW05	1500	900	Tilt Turn	O	650	Ensuite	UPVC / Timber / Thermally broken Alu.	Double	
Ground Floor	GW06	1200	1800	Tilt Turn	OO	950	Bed 2	UPVC / Timber / Thermally broken Alu.	Double	
Ground Floor	GW07	1200	1800	Tilt Turn	OO	950	Bed 3	UPVC / Timber / Thermally broken Alu.	Double	
Ground Floor	GW08	1500	900	Tilt Turn	O	650	WIR			
Raised FCL	HW01	600	1250	Tilt	O	500	Hallway	UPVC / Timber / Thermally broken Alu.	Double	
Raised FCL	HW02	600	1250	Tilt	O	500	Hallway	UPVC / Timber / Thermally broken Alu.	Double	
Raised FCL	HW03	300	2185	Fixed	X	0	Living	UPVC / Timber / Thermally broken Alu.	Double	
Raised FCL	HW04	300	2185	Fixed	X	0	Living	UPVC / Timber / Thermally broken Alu.	Double	
Raised FCL	HW05	300	2185	Fixed	X	0	Kitchen	UPVC / Timber / Thermally broken Alu.	Double	
Raised FCL	HW06	300	2185	Fixed	X	0	Kitchen	UPVC / Timber / Thermally broken Alu.	Double	
Garage	SW01	1200	1800	Tilt Turn	OO	1200	Shed	UPVC / Timber / Thermally broken Alu.	Double	
Garage	SW02	1200	1800	Tilt Turn	OO	1200	Shed	UPVC / Timber / Thermally broken Alu.	Double	
Garage	SW03	1200	1800	Tilt Turn	OO	1200	Shed	UPVC / Timber / Thermally broken Alu.	Double	
Garage	SW04	1200	1800	Tilt Turn	OO	1200	Shed	UPVC / Timber / Thermally broken Alu.	Double	
Garage	SW05	600	900	Tilt	O	1800	WC	UPVC / Timber / Thermally broken Alu.	Double	

Passive House Verification

Building:	Charlton 0121-1208		
Street:			
Postcode/City:	2420	Bandon Grove	
Province/Country:	Dungog	AU-Australia	
Building type:			
Climate data set:	AU0058a-Williamtown		
Climate zone:	5: Warm	Altitude of location:	230 m
Home owner / Client:			
Street:			
Postcode/City:			
Province/Country:			
Architecture:	Blencowe Design		
Street:			
Postcode/City:			
Province/Country:			
Mechanical engineer:			
Street:			
Postcode/City:			
Province/Country:			
Energy consultancy:	Craig Blencowe		
Street:			
Postcode/City:			
Province/Country:			
Certification:			
Street:			
Postcode/City:			
Province/Country:			

Year of construction:		Interior temperature winter [°C]:	20.0
No. of dwelling units:	1	Internal heat gains (IHG) heating case [W/m²]:	2.3
No. of occupants:	3.1	Specific capacity [Wh/K per m² TFA]:	60
		Interior temp. summer [°C]:	25.0
		IHG cooling case [W/m²]:	2.3
		Mechanical cooling:	x

Specific building characteristics with reference to the treated floor area

Treated floor area m² = 227.4

				Criteria	Alternative criteria	Fullfilled?[2]
Space heating	Heating demand kWh/(m²a)	8	≤	15	-	yes
	Heating load W/m²	8	≤	-	10	
Space cooling	Cooling & dehum. demand kWh/(m²a)	17	≤	17	17	yes
	Cooling load W/m²	13	≤	-	10	
	Frequency of overheating (> 25 °C) %	-	≤	-		-
	Frequency of excessively high humidity (> 12 g/kg) %	0	≤	10		yes
Airtightness	Pressurization test result n_{50} 1/h	0.6	≤	0.6		yes
Non-renewable Primary Energy (PE)	PE demand kWh/(m²a)	82	≤	-		-
	PER demand kWh/(m²a)	38	≤	45	38	yes
Primary Energy Renewable (PER)	Generation of renewable energy (in relation to projected building footprint area) kWh/(m²a)	84	≥	60	54	

[2] Empty field: Data missing; '-': No requirement

I confirm that the values given herein have been determined following the PHPP methodology and based on the characteristic values of the building. The PHPP calculations are attached to this verification.

Passive House Plus? yes

Task:	First name:	Surname:	Signature:
1-Designer	Craig	Blencowe	

Issued on: 13/01/23 City: Morisset

Project data imported from designPH 2.1.10 2023-01-13 09:10:42 +1100 PHPP9 display .code:

Bushfire Construction Notes
All construction to be built to:
BAL-29 (AS3959-2009 Section 7)

- Subfloor supports complying with AS3959-2009 Section 7.2
- Floors complying with AS3959-2009 Section 7.3
- External Walls complying with AS3959-2009 Section 7.4
- External Glazed Elements complying with AS3959-2009 Section 7.5
- Roofs complying with AS3959-2009 Section 7.6
- Verandahs, decks, steps, ramps & landings complying with AS3959-2009 Section 7.7
- Water & gas supply pipes complying with AS3959-2009 Section 7.8

Note: All construction to comply with AS3959-2018 and planning for bushfire protection 2019. Refer to bushfire notes in this drawing set for Excerpt from AS3959. Please refer to the Australian Standard for further details.

Refer to the Bushfire Threat Assessment Report job No. 0894 that has been compleated by Bushfire Consultant Pty Ltd.

Blencowe Design email: info@blencowedesign.com.au ph: 0423081511

BASIX Certificate Number 1366780M

Important Note for Development Applicants:

The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from the drawings or other specifications, this specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and/or clearly indicated on referenced documentation. Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed, or need further information, please contact Blencowe Design. This assessment has assumed that NCC provisions for building sealing will be complied with.

Thermal Performance Specifications

This has been passed as a Passive House, Refer to PHPP for additional details

For construction in NSW the NCC Vol 1 or 2 must be complied with, in particular the following:
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1
- Thermal breaks in accordance with Section J1.3(d) & 1.5(c) or Part 3.12.1.2(c) & 3.12.1.4(b)
- Compensating for loss of ceiling insulation in accordance with Section J1.3(c) or Part 3.12.1.1(e)
- Floor insulation in accordance with Section J1.6(c) & (d) or Part 3.12.1.5(a) (iii) or (c) & (d)
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6

Important Note for Development Applicants:

The following specification details the requirements necessary to achieve the thermal performance values as indicated on the BASIX Certification. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you need further information, please contact Blencowes Design

These are the Specifications upon which the Certified Assessment is based. If they vary from drawings or other written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.

Water Commitments

Alternative Water:	Rainwater Tank Size 60,000L Connected To:			
	Outdoor Taps	Laundry W/M Cold Tap	All Toilets	
Fixtures:				
3 Star Showerheads	5 Star Toilets	5 Star Kitchen Taps	4 Star BasinTaps	

Thermal Comfort Commitments

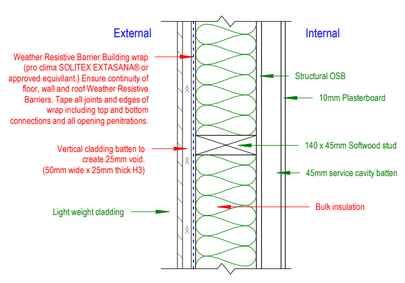
Refer to PHPP for additional details

Energy Commitments

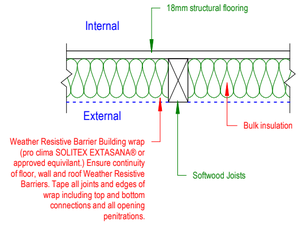
Hot Water	Electric heat pump			
Heating System	Living	1 phase AC		
	Bedrooms	None		
Cooling System	Living	Ceiling fans + 1 phase AC		
	Bedrooms	Ceiling fans		
Ventilation	Mechanical ventilation with heat recovery			
Natural Lighting	Window/skylight in Kitchen	As drawn		
	Window/skylight in Bathrooms/Toilets	As drawn		
Artificial lighting (primarily lit by fluoro or LED)	Number of bedrooms	4	Dedicated	No
	Number of living/dining rooms	2	Dedicated	No
	Kitchen	Yes	Dedicated	No
	All bathrooms/toilets	Yes	Dedicated	No
	Laundry	Yes	Dedicated	No
	All Hallways	Yes	Dedicated	No

Other Commitments

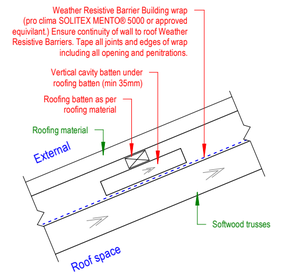
Outdoor clothes line	Yes
Stove/oven	Induction cooktop, electric oven
Other	"Well ventilated" fridge space



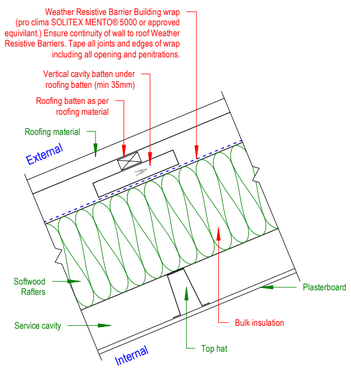
Typical Light Weight Clad Insulation Detail
Scale 1:10



Typical Framed Floor Insulation Detail
Scale 1:10



Typical Truss (top) Insulation Detail
Scale 1:10



Typical Skillion Roof Insulation Detail
Scale 1:10

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Refer to Ar01 for additional notes

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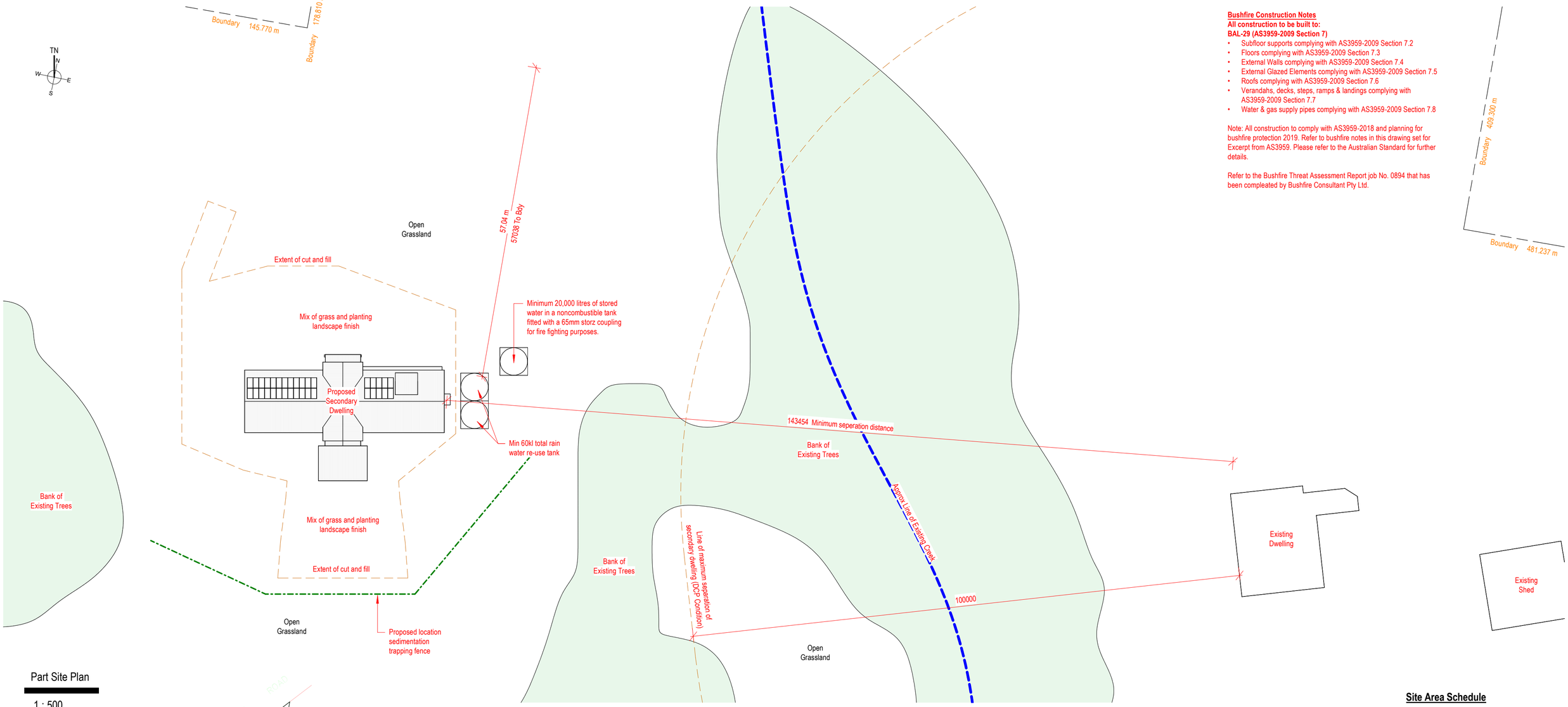
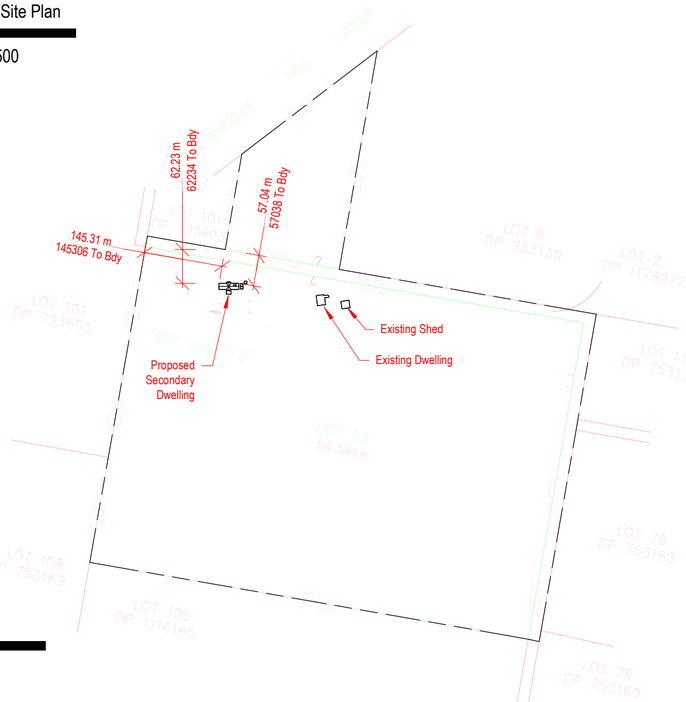
Sheet: Ar04
Scale: As indicated @ A3



Part Site Plan

1 : 500



Site Plan

1 : 8000

Bushfire Construction Notes
All construction to be built to:
BAL-29 (AS3959-2009 Section 7)

- Subfloor supports complying with AS3959-2009 Section 7.2
- Floors complying with AS3959-2009 Section 7.3
- External Walls complying with AS3959-2009 Section 7.4
- External Glazed Elements complying with AS3959-2009 Section 7.5
- Roofs complying with AS3959-2009 Section 7.6
- Verandahs, decks, steps, ramps & landings complying with AS3959-2009 Section 7.7
- Water & gas supply pipes complying with AS3959-2009 Section 7.8

Note: All construction to comply with AS3959-2018 and planning for bushfire protection 2019. Refer to bushfire notes in this drawing set for Excerpt from AS3959. Please refer to the Australian Standard for further details.

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Site Area Schedule

Name	Area	Overall
Impermeable		
Existing Dwelling Footprint	313.1 m²	0.1%
Existing Shed Footprint	210.0 m²	0.0%
Proposed Secondary Dwelling Footprint	299.3 m²	0.1%
Proposed Secondary Shed Footprint	134.1 m²	0.0%
	956.5 m²	**0.2%**
Permeable		
Remaining Site	576638.1 m²	99.8%
	576638.1 m²	**99.8%**
Grand site total	**577594.6 m²**	**100.0%**

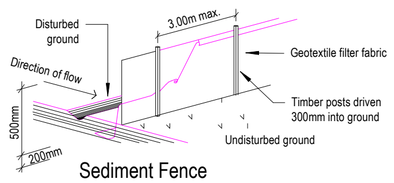
Erosion and Sediment Controls

General Notes
- This plan shows the control objectives, philosophy and key control works for the site. The contractor shall provide supplementary works that reflect the adopted construction program and practices to ensure that erosion and sediment movement are managed in accordance with the objectives of this plan.
- Erosion and sediment hazard areas include stockpiles, exposed ground, embankments, cuttings concentrated flow paths and waterways.
- This plan is to be used as a guide only. The suitability of erosion and sediment control measures to be evaluated on site and where required, are to be modified under the supervision of a suitably qualified engineer and Council.

Pre-Construction Phase Notes
- Site works are not to start until the erosion and sediment control measures are installed and functional.
- Temporary sediment traps to be installed during construction (where applicable)
- Waste bins are to be provided for building waste or waste enclosure min. 1800 x 1800 x 1200mm high constructed using star pickets and 1200mm high weed control mat. Arrangement to be made for regular collection and disposal or recycling of construction waste.
- Entry and departure of vehicles is to be confined to the nominated existing vehicle access or stabilised site access. Sediment or barrier fencing will be used to restrict all vehicular movements to that access point. Stabilisation will be achieved by either:
  a) constructing a sealed (eg concrete or asphalt) driveway to the street
  b) constructing a stabilised site access according to Council's engineering standards.

Construction Phase Notes
- Topsoil is to be stripped from building site and stockpiled for later use in landscaping the site.
- The footpath and driveway, other than stabilised site access, is not to be disturbed, including stockpiling of materials. Where essential works (eg drainage) are required, the footpath is to be rehabilitated (turfed) as soon as possible.
- Where appropriate, an aggregate bag shall be placed in the gutter below the site access. The bag shall be made from green sediment fence material, or similar. The bag must be at least 450mm long, 200mm diameter, filled with less than 20mm blue metal or crushed rock. If the bag breaks or deteriorates, the bag shall be replaced immediately and the material cleaned out from any gutter, kerb, road surface or stormwater system it has entered. The use of hessian bags, and sand filled bags is not acceptable.
- All sedimentation controls are to be checked daily (at a min. weekly) and after all rain events. All structures to be cleaned on reaching 50% storage capacity to ensure they are maintained and in full functional condition. Excess materials and water from cleaning tools and equipment should not be washed down stormwater drains.

Post-Construction Phase Notes:
- Topsoil is to be re-spread and all disturbed areas rehabilitated (turfed)within 20 working days of completion of works. Where necessary, spray and seed disturbed areas.
- Roof downpipes to be connected to street kerb or other stormwater disposal system as nominated in the plans on completion of roof and guttering as soon as possible.



Sediment Fence
N.T.S

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Client: Mr & Mrs Charlton

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Revision Schedule		
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10/02/23	Issued for DA	A

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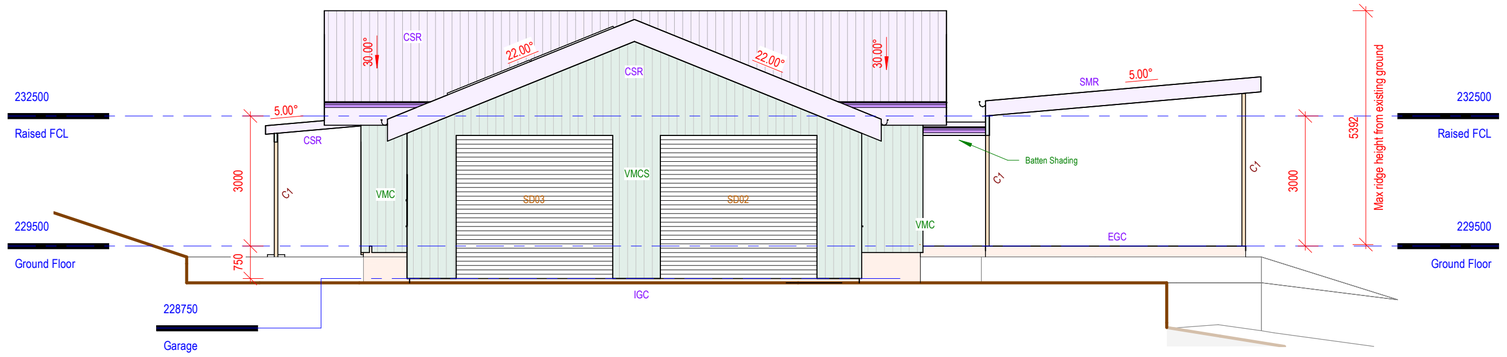
Drawing No: 0121-1208
Sheet: Ar05
Scale: As indicated @ A3



West Elevation

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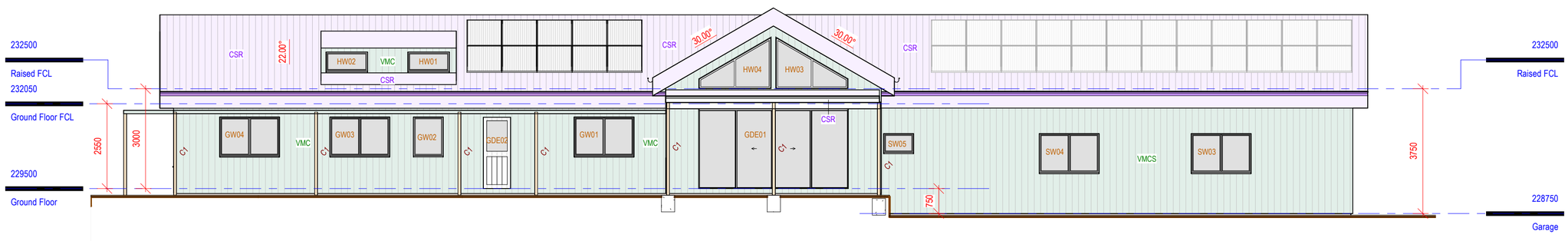

North Elevation

1 : 100

Tag Mark Key

Type Mark	Description
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	Exterior Ground Bearing Concrete
IBJF	Internal bearer & joist
IGC	Internal ground bearing concrete
WAF	Wet area floor
Railings	
APS	Aluminium privacy screen
Roofs	
CSR	Colourbond Superdek Roofing
SMR	Standing seam metal roof
Stairs	
ETS	Enclosed timber stairs
Structural Columns	
C1	Steel column
Walls	
DTS	Double timber stud
FGSS	Frameless glass shower screen
SSW	Shed seperation wall
TS	Timber stud
VMC	Colourbond Superdek vertical cladding
VMCS	Colourbond Superdek vertical cladding

Bushfire Construction Notes

All construction to be built to:

BAL-29 (AS3959-2009 Section 7)

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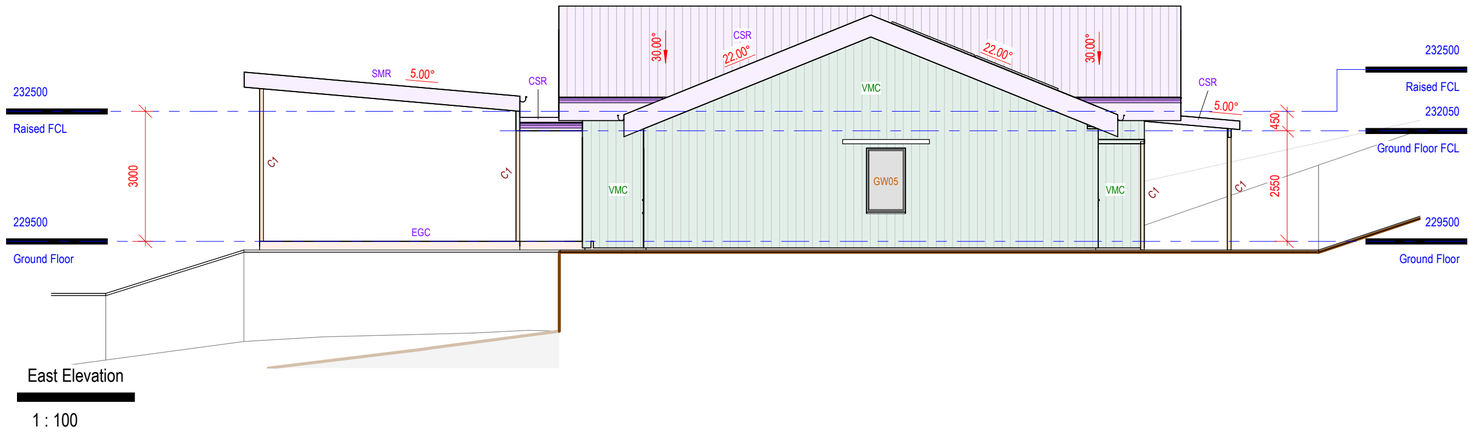
Drawing No: 0121-1208

Sheet: Ar07

Scale: 1 : 100 @ A3



East Elevation

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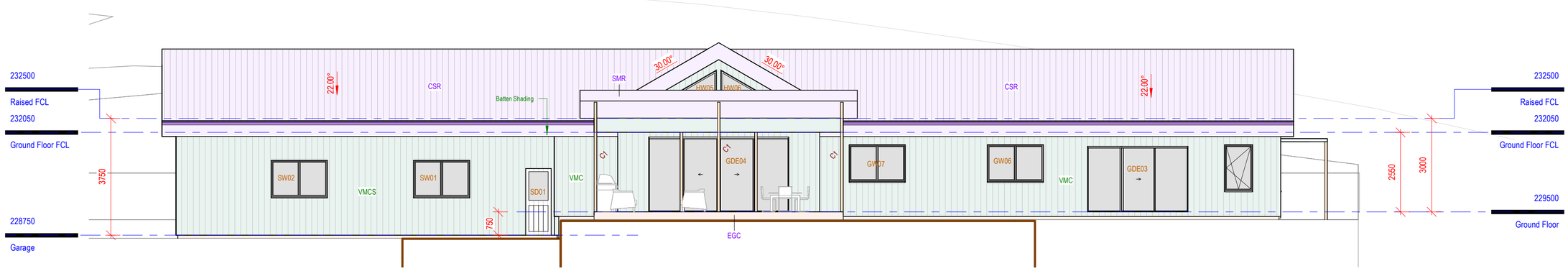

South Elevation

1 : 100

Tag Mark Key

Type Mark	Description
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	Exterior Ground Bearing Concrete
IBJF	Internal bearer & joist
IGC	Internal ground bearing concrete
WAF	Wet area floor
Railings	
APS	Aluminium privacy screen
Roofs	
CSR	Colourbond Superdek Roofing
SMR	Standing seam metal roof
Stairs	
ETS	Enclosed timber stairs
Structural Columns	
C1	Steel column
Walls	
DTS	Double timber stud
FGSS	Frameless glass shower screen
SSW	Shed seperation wall
TS	Timber stud
VMC	Colourbond Superdek vertical cladding
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Drawing No: 0121-1208

Sheet: Ar08

Scale: 1 : 100 @ A3

Tag Mark Key

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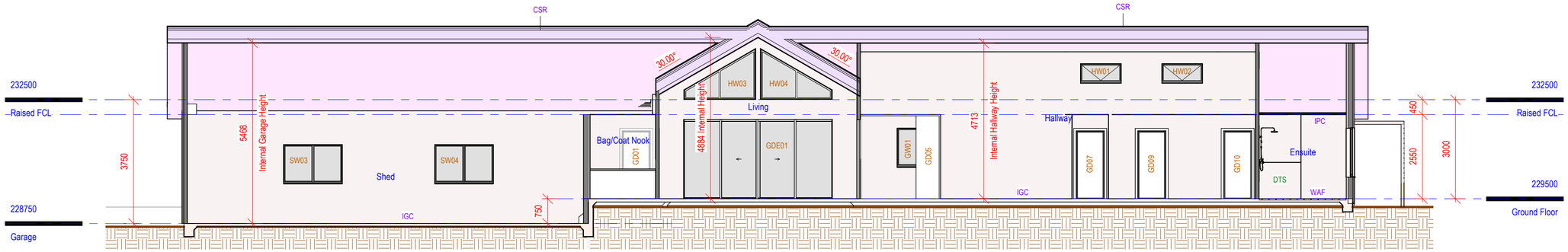

Sec 1

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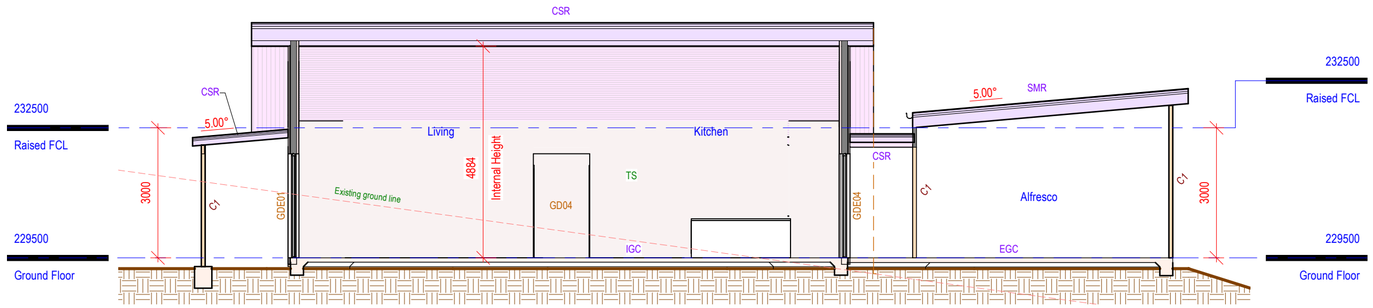

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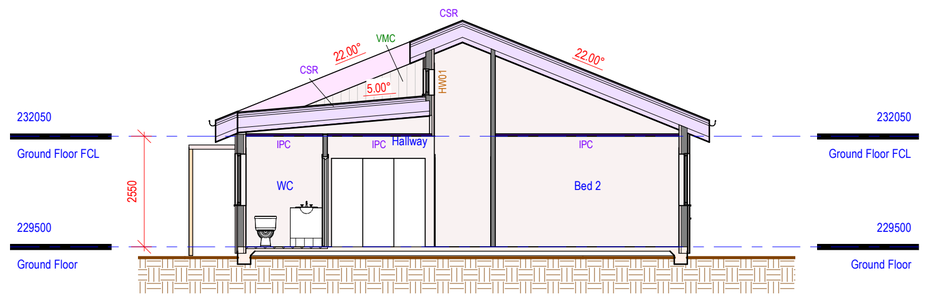

Sec 3

1 : 100

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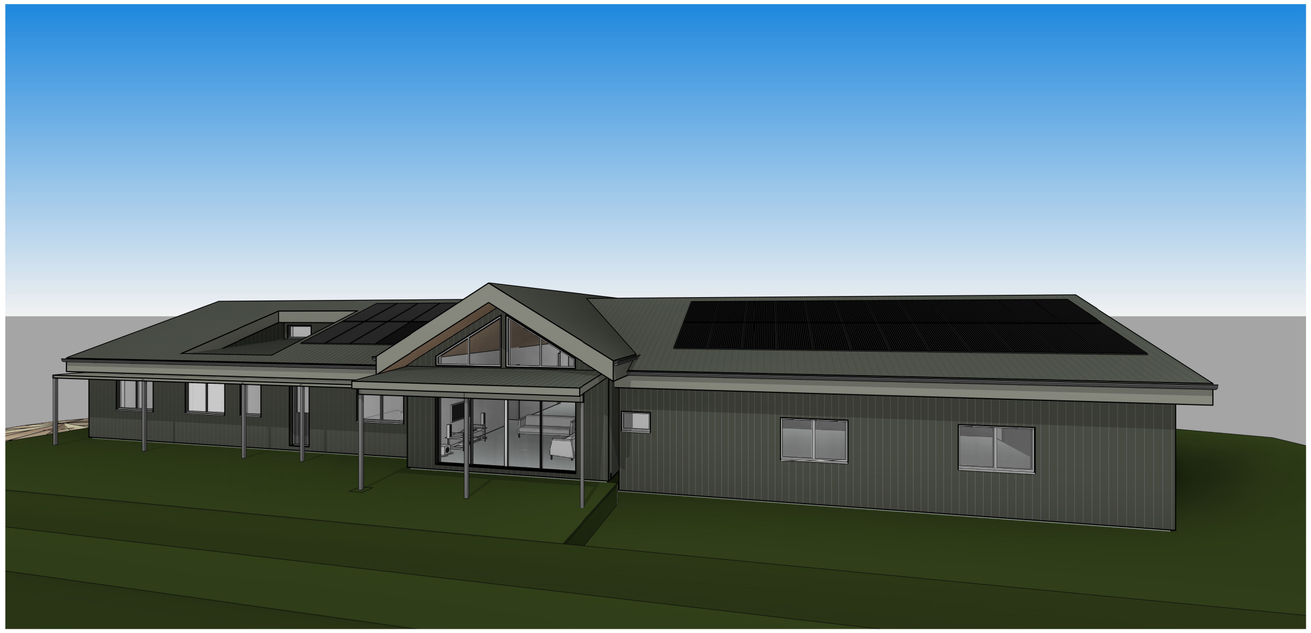
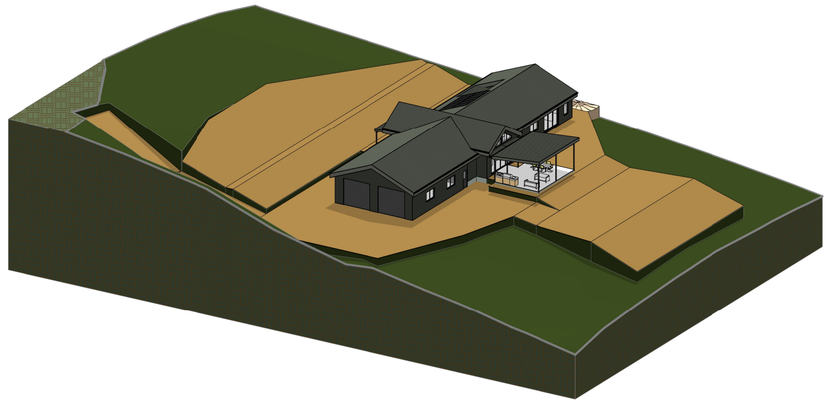
Sheet: Ar09

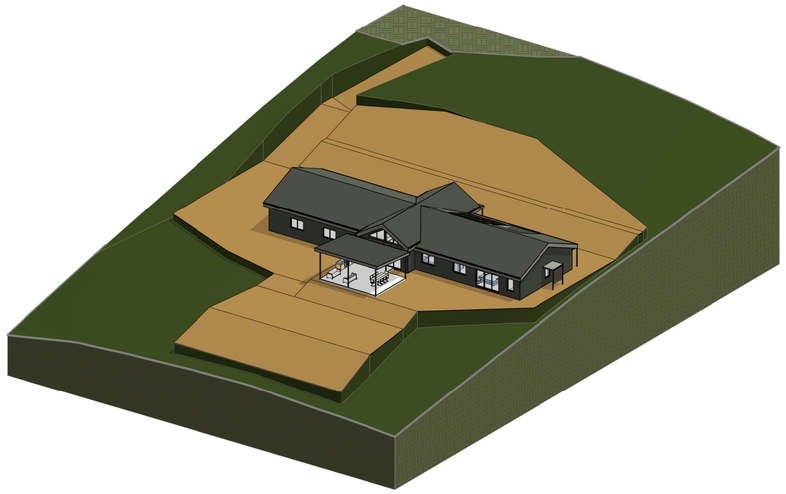
Scale: 1 : 100 @ A3



North West 3D View



South East Overview



South West Overview

South East 3D View

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Drawing No: 0121-1208

Sheet: Ar10

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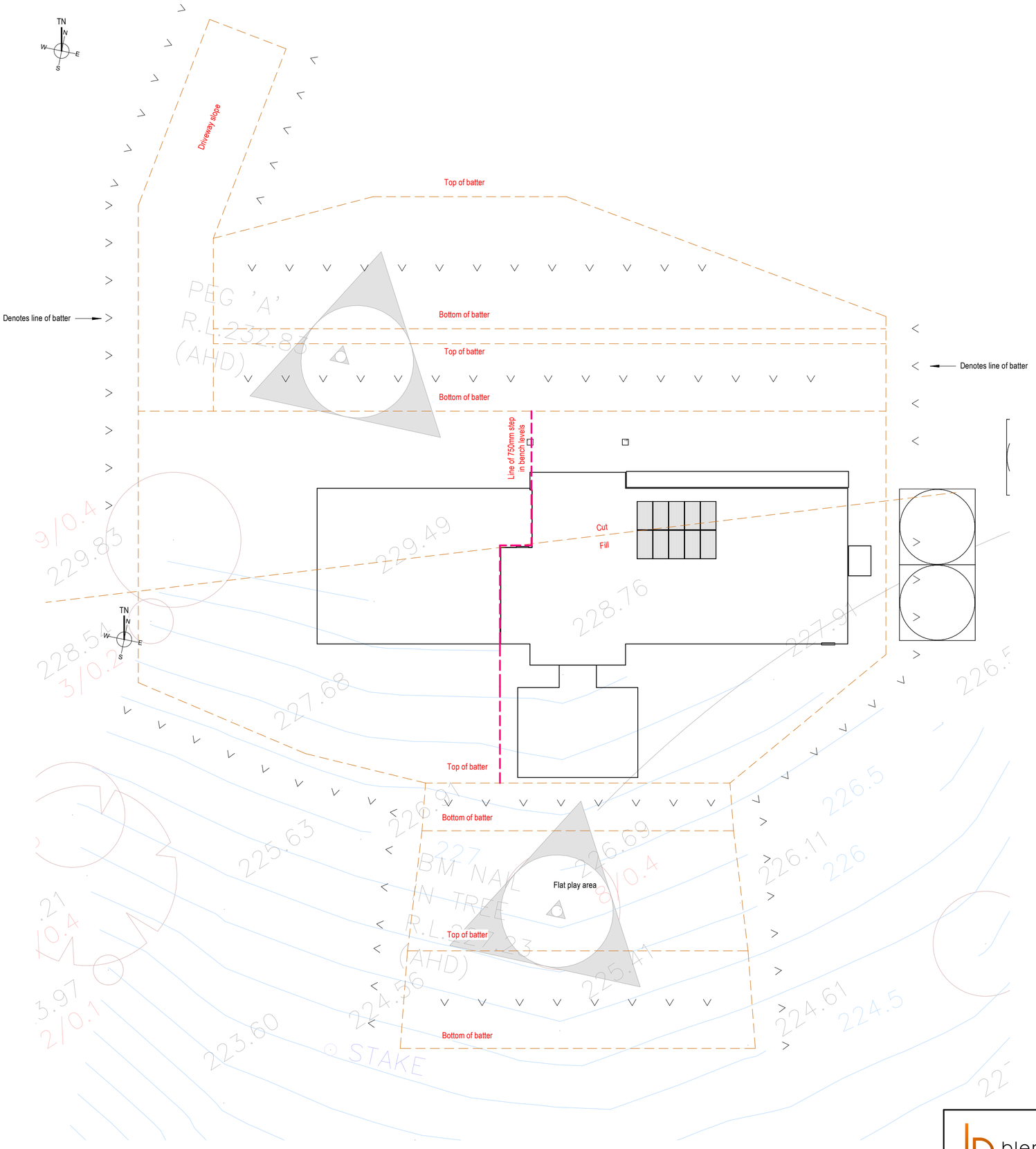

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Drawing No: 0121-1208

Sheet: Ar11

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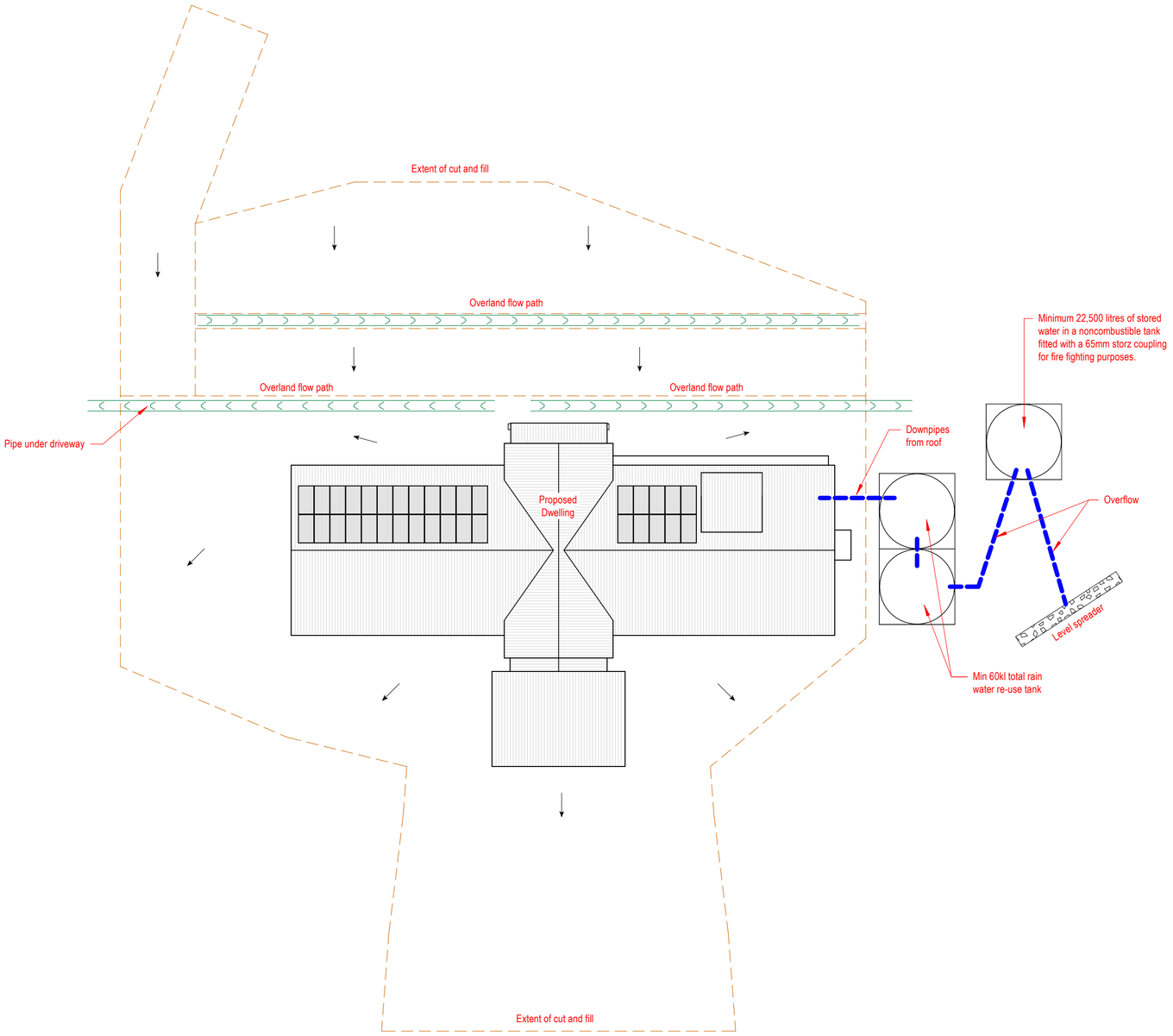
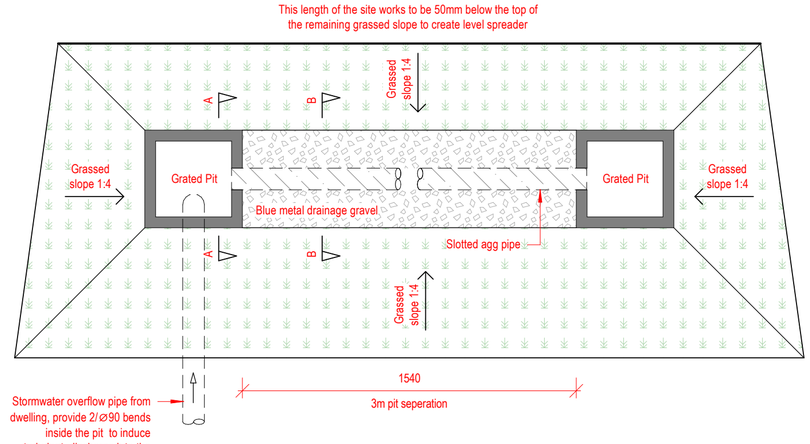


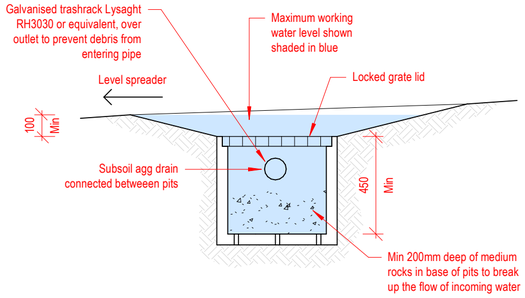
Concept Drainage Plan

1 : 250



Stormwater Level Spreader Plan

Scale 1:20



Section A-A

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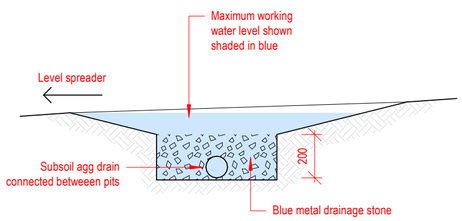

Section B-B

Scale 1:20

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Sheet: Ar12

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